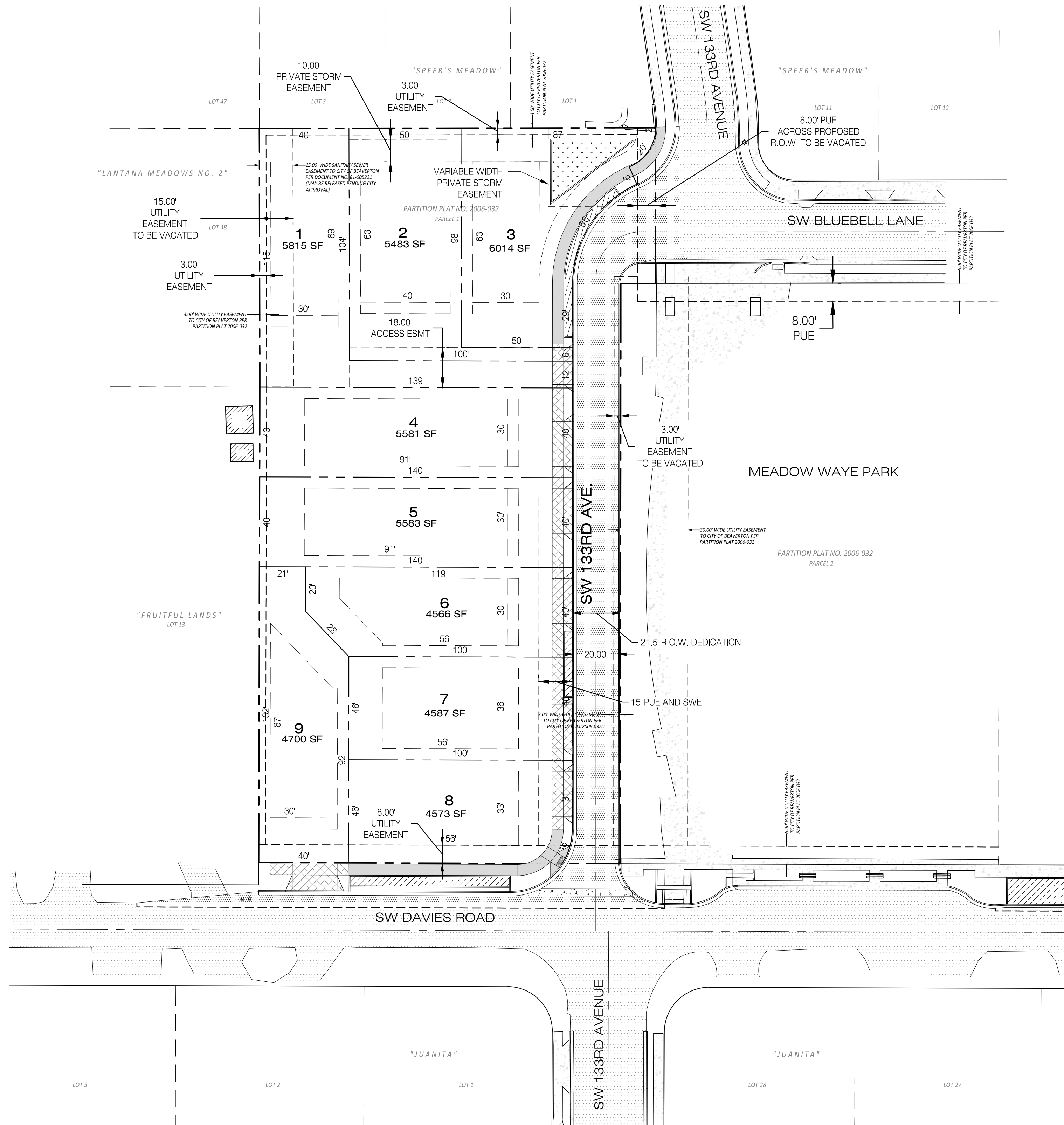


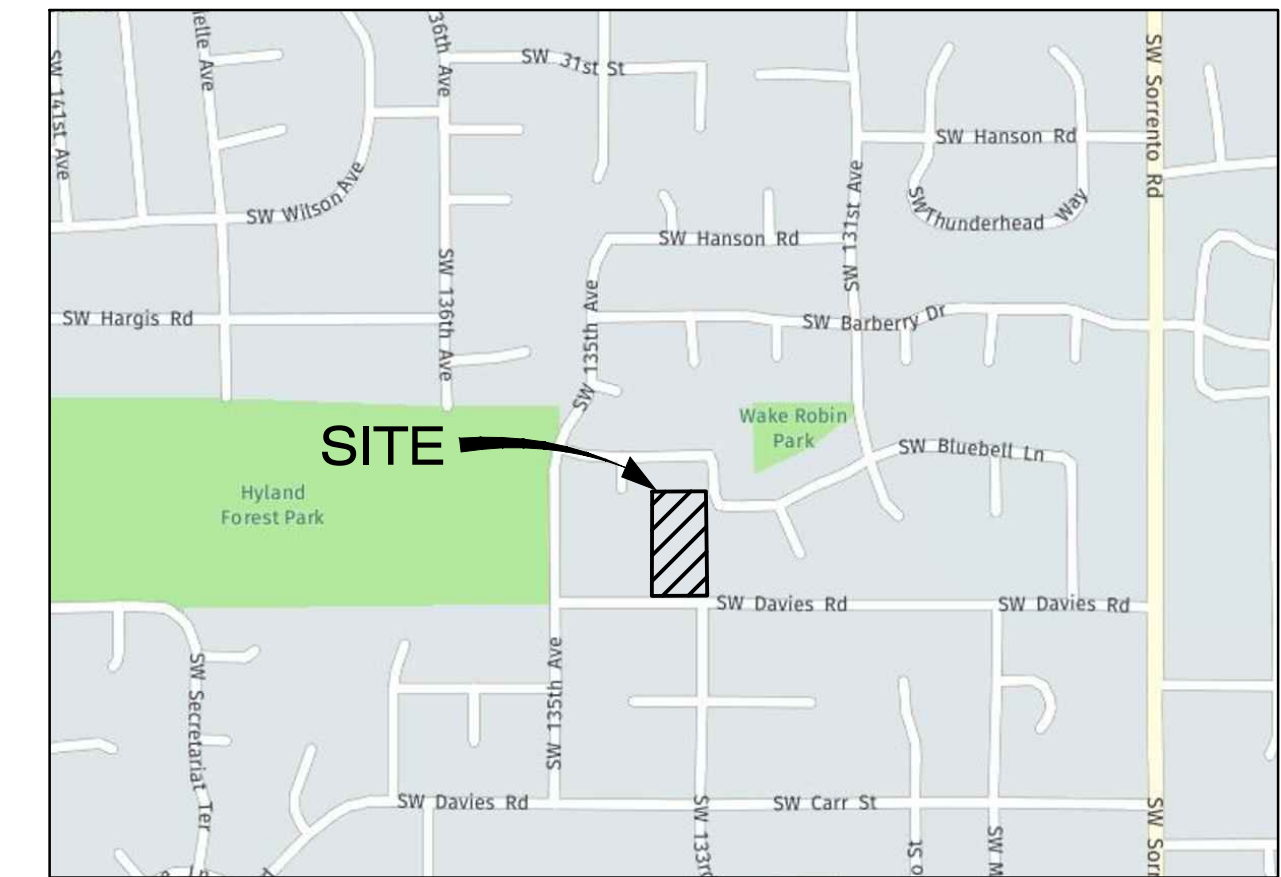
SOUTHRIDGE PARK

A 9 LOT SUBDIVISION ON TAX LOT 14600, MAP 1S1 28AB (LOT 1 PARTITION 2006-032)
13335 SW DAVIES ROAD, BEAVERTON, OREGON, 97006

Received
Planning Division
12/20/2019



SITE MAP
1"=30'



VICINITY MAP
N.T.S.

APPLICANT/OWNER

RIVERSIDE HOMES
17933 NW EVERGREEN PLACE, SUITE 370
BEAVERTON, OR 97006
PHONE (503) 645-0986

PLANNING/ENGINEERING/SURVEYING

PIONEER DESIGN GROUP, INC.
9020 SW WASHINGTON SQ RD., SUITE 170
PORTLAND, OR 97223
PHONE (503) 643-8286
CONTACT: MATT SPRAGUE

PROJECT ARBORIST

MORGAN HOLEN & ASSOCIATES, LLC.
3 MONROE PARKWAY, SUITE P220
LAKE OSWEGO, OR 97035
PHONE (971) 409-9354
CONTACT: MORGAN HOLEN

SHEET INDEX

| SHEET NUMBER | SHEET DESCRIPTION |
|--------------|---|
| P1.0 | PRELIMINARY PLAT |
| P2.0 | EXISTING CONDITIONS & DEMOLITION PLAN |
| P3.0 | PRELIMINARY GRADING AND EROSION CONTROL PLAN |
| P4.0 | PRELIMINARY TREE REMOVAL PLAN & SPECIFICATIONS |
| P5.0 | SITE CROSS SECTIONS A-A & B-B PROFILES |
| P6.0 | PRELIMINARY COMPOSITE UTILITY PLAN |
| P7.0 | SW DAVIES ROAD - PLAN AND PROFILE |
| P7.1 | SW 133RD AVE, SDLN-01, SDLN-02 - PLAN AND PROFILE |
| P8.0 | SSLN-A, SSLN-B - PLAN AND PROFILE |
| P9.0 | CIRCULATION AND AERIAL PLAN |

VERTICAL DATUM

WASHINGTON COUNTY BENCHMARK NO. 396.
A BRASS DISK SET IN THE HANDRAIL ON THE
BEAVERTON-TIGARD HIGHWAY 217 AT THE
NORTHEAST CORNER OF THE HALL BOULEVARD
OVERPASS
ELEVATION OF BM: 224.936 (NGVD 29 DATUM)

SITE INFORMATION

TAX MAP: 1S1 28AB
TAX LOT: 14600
SITE ADDRESS: 13335 SW DAVIES RD.
BEAVERTON, OREGON 97006
SITE SIZE: 1.24 ACRES
ZONING: R-5 (STANDARD DENSITY)

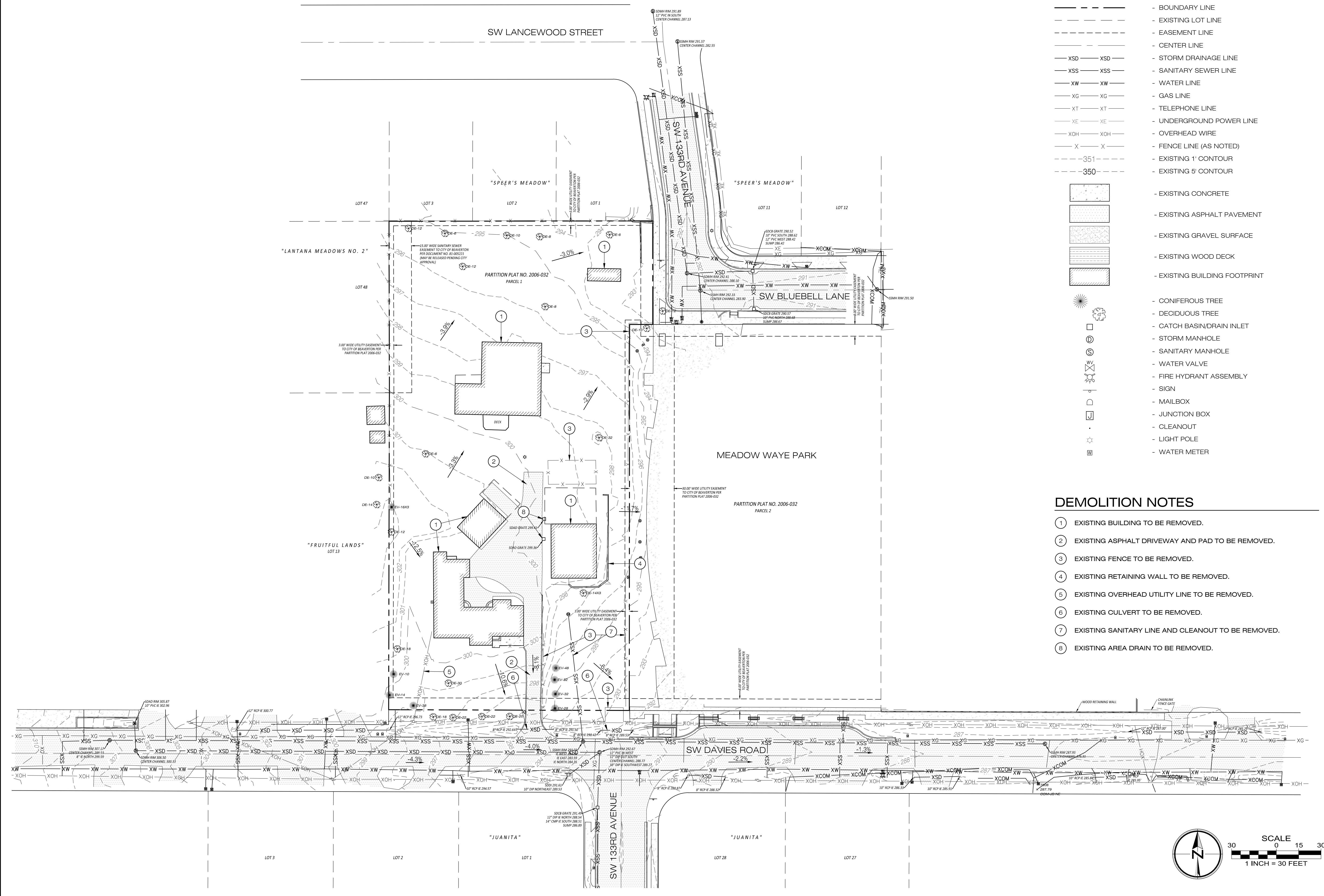
SETBACK REQUIREMENTS

FRONT BUILDING: 15 FT.
FRONT GARAGE: 20 FT.
SIDE YARD: 5 FT.
REAR BUILDING: 15 FT. (LOTS 1-3, 6-9)
20 FT. (LOTS 4 & 5)

| Designed by | Date | Drawn by | Date | Reviewed by | Date | Project No. | Horiz. Scale: | Vert. Scale: |
|-------------|-------|----------|-------|-------------|-------|-------------|---------------|--------------|
| JIS | 07/19 | TCC | 07/19 | MLS | 07/19 | 131-021 | | |

| Revision | Date | No. | Project | No. | Type |
|----------|------|-----|-----------------|---------|----------|
| | | | SOUTHRIDGE PARK | 131-021 | PLANNING |

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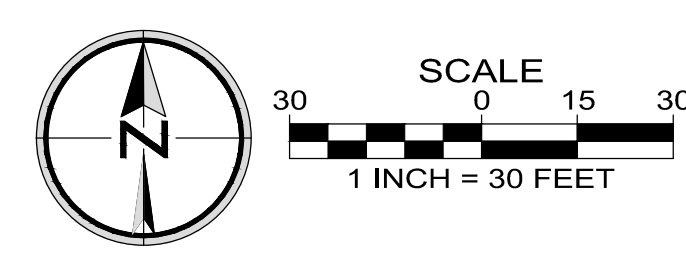


LEGEND

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EXISTING LOT LINE
- EASEMENT LINE
- CENTER LINE
- STORM DRAINAGE LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- TELEPHONE LINE
- UNDERGROUND POWER LINE
- OVERHEAD WIRE
- FENCE LINE (AS NOTED)
- 351--- EXISTING 1' CONTOUR
- 350--- EXISTING 5' CONTOUR
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING ASPHALT PAVEMENT
- [Pattern] EXISTING GRAVEL SURFACE
- [Pattern] EXISTING WOOD DECK
- [Pattern] EXISTING BUILDING FOOTPRINT
- [Symbol] CONIFEROUS TREE
- [Symbol] DECIDUOUS TREE
- [Symbol] CATCH BASIN/DRAIN INLET
- [Symbol] STORM MANHOLE
- [Symbol] SANITARY MANHOLE
- [Symbol] WATER VALVE
- [Symbol] FIRE HYDRANT ASSEMBLY
- [Symbol] SIGN
- [Symbol] MAILBOX
- [Symbol] JUNCTION BOX
- [Symbol] CLEANOUT
- [Symbol] LIGHT POLE
- [Symbol] WATER METER

DEMOLITION NOTES

- ① EXISTING BUILDING TO BE REMOVED.
- ② EXISTING ASPHALT DRIVEWAY AND PAD TO BE REMOVED.
- ③ EXISTING FENCE TO BE REMOVED.
- ④ EXISTING RETAINING WALL TO BE REMOVED.
- ⑤ EXISTING OVERHEAD UTILITY LINE TO BE REMOVED.
- ⑥ EXISTING CULVERT TO BE REMOVED.
- ⑦ EXISTING SANITARY LINE AND CLEANOUT TO BE REMOVED.
- ⑧ EXISTING AREA DRAIN TO BE REMOVED.

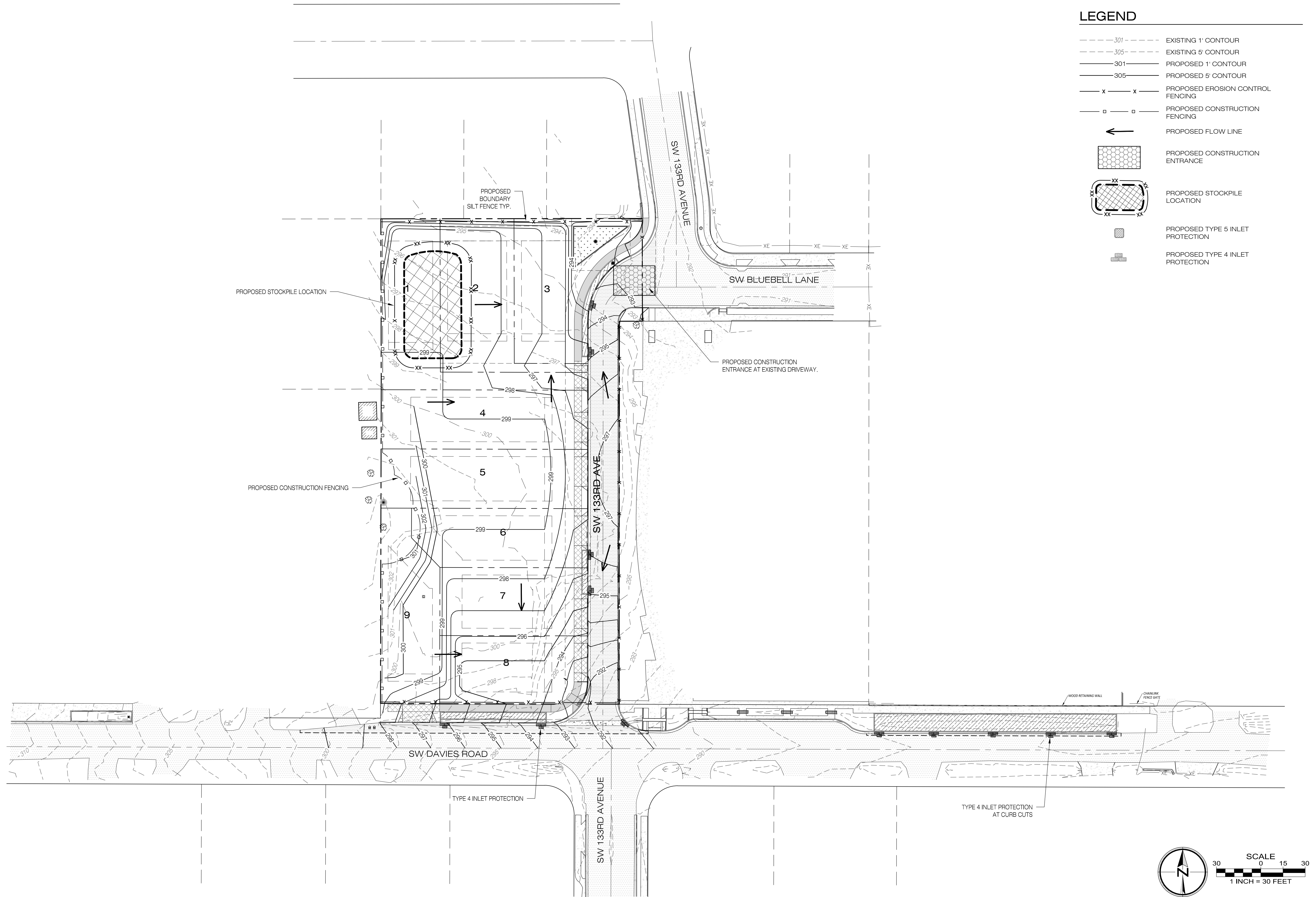


EXISTING CONDITIONS

SOUTHRIDGE PARK
 CITY OF BEAVERTON, OREGON

| Designed by | Date | Drawn by | Date | Reviewed by | Date | Project No. | REF. |
|-------------|-------|----------|-------|-------------|-------|-------------|------|
| JIS | 07/19 | TCC | 07/19 | MLS | 07/19 | 131-021 | |
| | | | | | | | REF. |

| No. | Date | Revision |
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LEGEND

- 301 --- EXISTING 1' CONTOUR
- 305 --- EXISTING 5' CONTOUR
- 301 — PROPOSED 1' CONTOUR
- 305 — PROPOSED 5' CONTOUR
- x — x — PROPOSED EROSION CONTROL FENCING
- □ — □ — PROPOSED CONSTRUCTION FENCING
- ← PROPOSED FLOW LINE
- [Hatched Box] PROPOSED CONSTRUCTION ENTRANCE
- [Cross-hatched Box] PROPOSED STOCKPILE LOCATION
- [Square with Dots] PROPOSED TYPE 5 INLET PROTECTION
- [Square with Bars] PROPOSED TYPE 4 INLET PROTECTION

PRELIMINARY GRADING AND EROSION CONTROL PLAN
 SOUTHRIDGE PARK
 CITY OF BEAVERTON, OREGON

| Designed by | Date | Drawn by | Date | Reviewed by | Date | Project No. | REF. |
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Horiz. Scale: 1" = 30'
 Vert. Scale: 1" = 30'

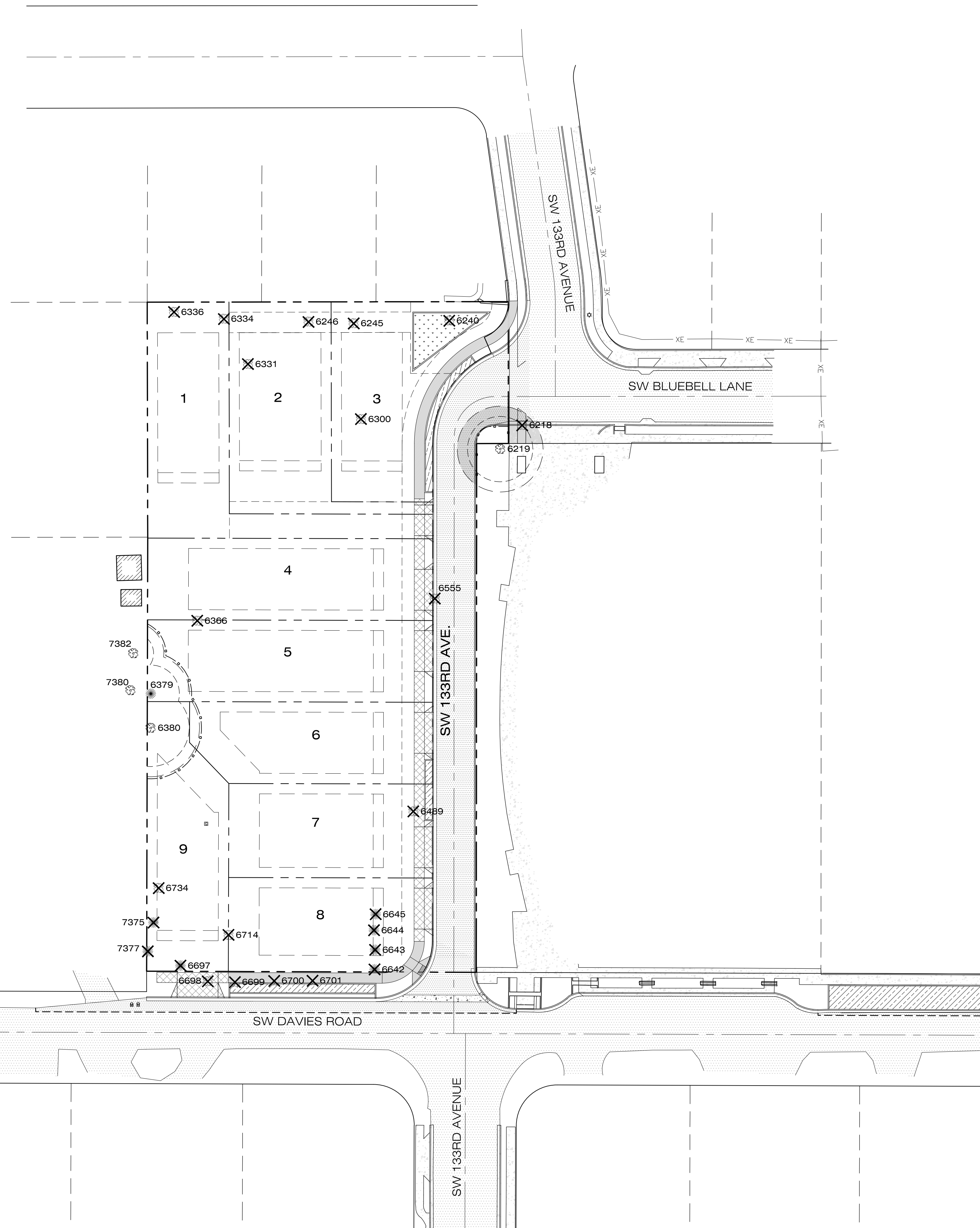
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CONSENT MUST BE GIVEN BY ADJACENT LAND OWNER PRIOR TO THE REMOVAL OF TREES ON PROPERTY LINES.

| TREE POINT TABLE | |
|------------------|-------------------|
| POINT # | DESCRIPTION |
| 6218 | DE-11 |
| 6219 | DE-10 |
| 6240 | DE-6 |
| 6245 | DE-7 |
| 6246 | DE-9 |
| 6300 | DE-9 |
| 6331 | DE-11 |
| 6334 | DE-5 |
| 6336 | DE-14 |
| 6366 | DE-6 |
| 6379 | CON-4,3X8,12,2X16 |
| 6380 | DE-14 |
| 6489 | DE-12,13,14 |
| 6555 | DE-32 |

| TREE POINT TABLE | |
|------------------|-------------|
| POINT # | DESCRIPTION |
| 6642 | CON-34 |
| 6643 | CON-34 |
| 6644 | CON-32 |
| 6645 | CON-43 |
| 6697 | CON-35 |
| 6698 | DE-20 |
| 6699 | DE-21 |
| 6700 | DE-22 |
| 6701 | DE-20 |
| 6714 | DE-33 |
| 6734 | DE-24 |
| 7375 | CON-11 |
| 7377 | CON-16 |
| 7380 | DE-14 |
| 7382 | DE-10 |

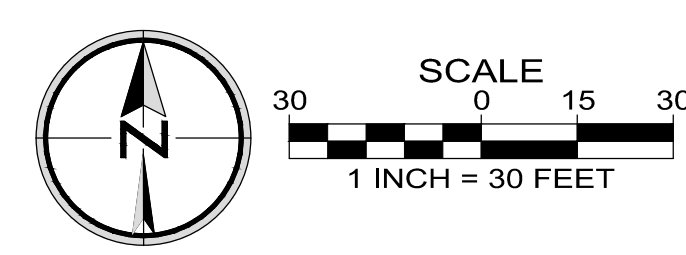


LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- BOUNDARY LINE
- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED PAVEMENT
- EXISTING DRIP LINE
- - - ROOT PROTECTION ZONE
- - - TREE PROTECTION FENCING
- EXISTING TREE TO REMAIN
- ✕ EXISTING TREE TO BE REMOVED
- ▨ DRIP LINE AND ROOT PROTECTION ZONE ENCROACHMENT AREA

TREE PROTECTION SPECIFICATIONS

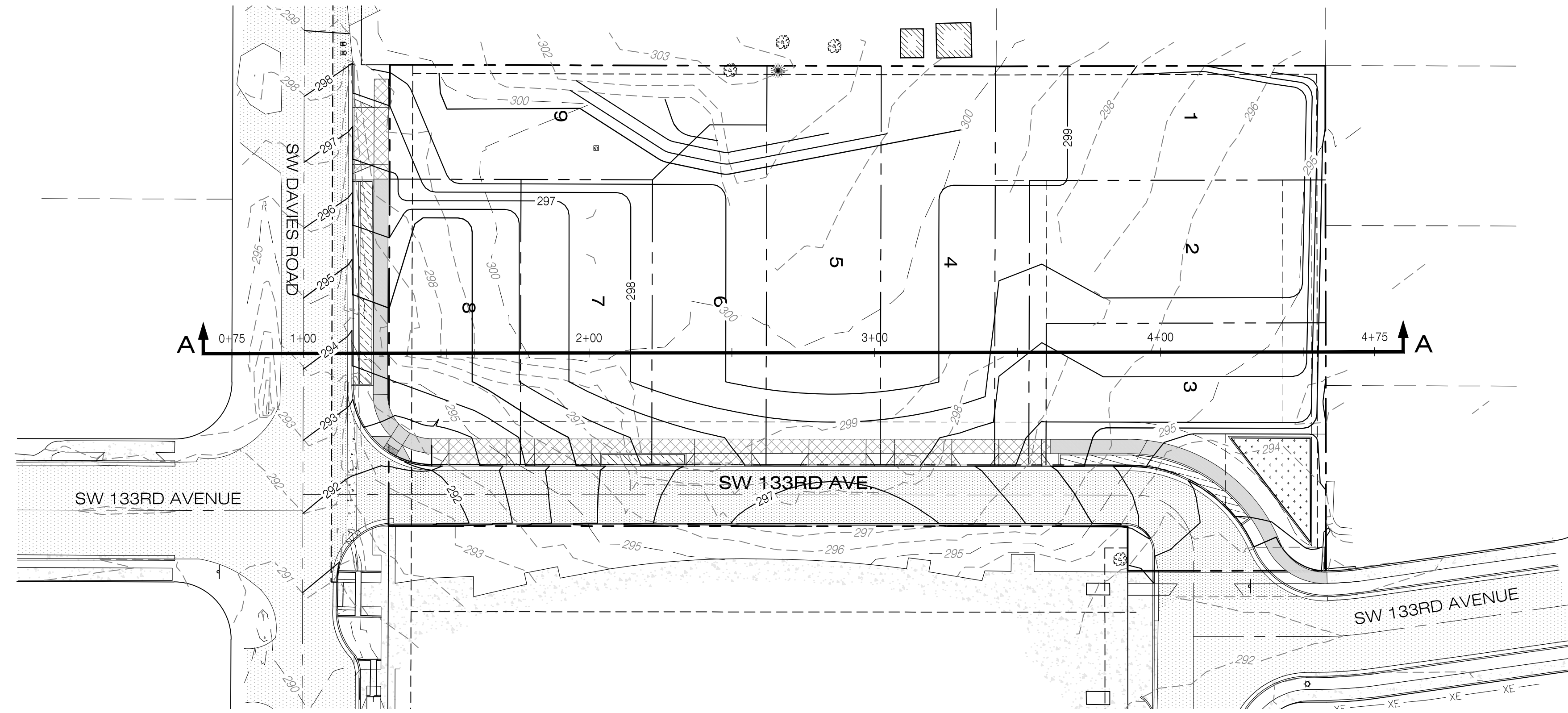
- FENCING:** TREES TO BE RETAINED SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING TO PREVENT INJURY TO TREE TRUNKS OR ROOTS OR SOIL COMPACTION WITHIN THE ROOT PROTECTION ZONE WHICH GENERALLY COINCIDES WITH THE DRIPLINE PLUS 5- FEET. FENCING SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN AND INSPECTED AND VERIFIED BY THE PROJECT ARBORIST BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL REMAIN IN PLACE UNTIL PHYSICAL DEVELOPMENT IS COMPLETE.
THE FENCE SHALL BE A FOUR FOOT (4) TALL ORANGE PLASTIC OR SNOW FENCE SECURED TO SIX FOOT (6) TALL METAL POSTS DRIVEN TWO FEET (2) INTO THE GROUND. HEAVY 12-GAUGE WIRE SHALL BE STRUNG BETWEEN EACH POST AND ATTACHED TO THE TOP AND MIDPOINT OF EACH POST. COLORED TREE FLAGGING INDICATING THAT THIS AREA IS A TREE PROTECTION ZONE IS TO BE PLACED EVERY FIVE (5) LINEAR FEET ON THE FENCE TO ALERT CONSTRUCTION CREWS OF THE SENSITIVE NATURE OF THE AREA.
- TREE PROTECTION ZONE:** WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR WITHIN ROOT PROTECTION ZONES OR ALLOWED ENCROACHMENT AREAS AS IDENTIFIED ON THE TREE PLAN:
 - CONSTRUCTION OR PLACEMENT OF NEW BUILDINGS;
 - GRADE CHANGE OR CUT AND FILL, DURING OR AFTER CONSTRUCTION;
 - NEW IMPERVIOUS SURFACES;
 - TRENCHING FOR UTILITIES, IRRIGATION OR DRAINAGE;
 - STAGING OR STORAGE OF MATERIALS AND EQUIPMENT OF ANY KIND; OR
 - VEHICLE MANEUVERING OR PARKING.
 ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
- TREE REMOVAL:** PRIOR TO THE REMOVAL OF TREE #7377, THE WESTERN PROPERTY BOUNDARY SHALL BE STAKED AND THE LOCATION OF THE TREE VERIFIED. IF ANY PORTION OF THE BASE OF THE TRUNK IS ON THE PROPERTY BOUNDARY, WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER IS REQUIRED PRIOR TO ITS REMOVAL.
- CROWN PRUNING:** TREES TO BE PRESERVED MAY REQUIRE MINOR PRUNING FOR OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY WHETHER PRUNING IS NECESSARY ONCE TREES PLANNED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS STAKED AND PREPARED FOR CONSTRUCTION. PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE AND IN ACCORDANCE WITH ANSI A300 STANDARDS AND BEST MANAGEMENT PRACTICES FOR PRUNING (ISA 2019).
- TREE #6219 - EXCAVATION IN STANDARD PROTECTION ZONE ENCROACHMENT AREA.** THE DEVELOPER SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO MONITOR AND DOCUMENT STREET EXCAVATION WITHIN THE ALLOWED ENCROACHMENT AREA AS IDENTIFIED ON THE TREE PLAN. THE ARBORIST SHALL PROVIDE ON-THE-GROUND RECOMMENDATIONS TO MINIMIZE IMPACTS WHICH MAY INCLUDE HAND-DIGGING AND ROOT PRUNING IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR ROOT MANAGEMENT (ISA 2017).
- LANDSCAPING:** FOLLOWING CONSTRUCTION AND PRIOR TO LANDSCAPING, THE PROTECTION FENCING MAY BE REMOVED. WHERE LANDSCAPING IS DESIRED, APPLY TWO TO THREE INCHES (2-3") OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES, BUT NOT DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN TREE PROTECTION AREAS BY HAND, ADJUST PLANTING LOCATIONS TO AVOID TREE ROOTS. IF IRRIGATION IS USED, USE DRIP IRRIGATION ONLY BENEATH THE DRIPLINES OF PROTECTED TREES; INSTALL DRIP IRRIGATION LINES ON THE GROUND SURFACE AND COVER WITH MULCH (NO TRENCHING TO INSTALL IRRIGATION LINES BENEATH PROTECTED TREE DRIPLINES).
- QUALITY ASSURANCE:** THE PROJECT ARBORIST WILL BE AVAILABLE ON-CALL DURING CONSTRUCTION TO SUPERVISE PROPER EXECUTION OF THIS PLAN; IT IS THE DEVELOPER'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER AS NEEDED. TREE PROTECTION SITE INSPECTION MONITORING REPORTS SHOULD BE PROVIDED TO THE CLIENT AND CONTRACTOR FOLLOWING EACH SITE VISIT PERFORMED BY THE PROJECT ARBORIST DURING CONSTRUCTION.



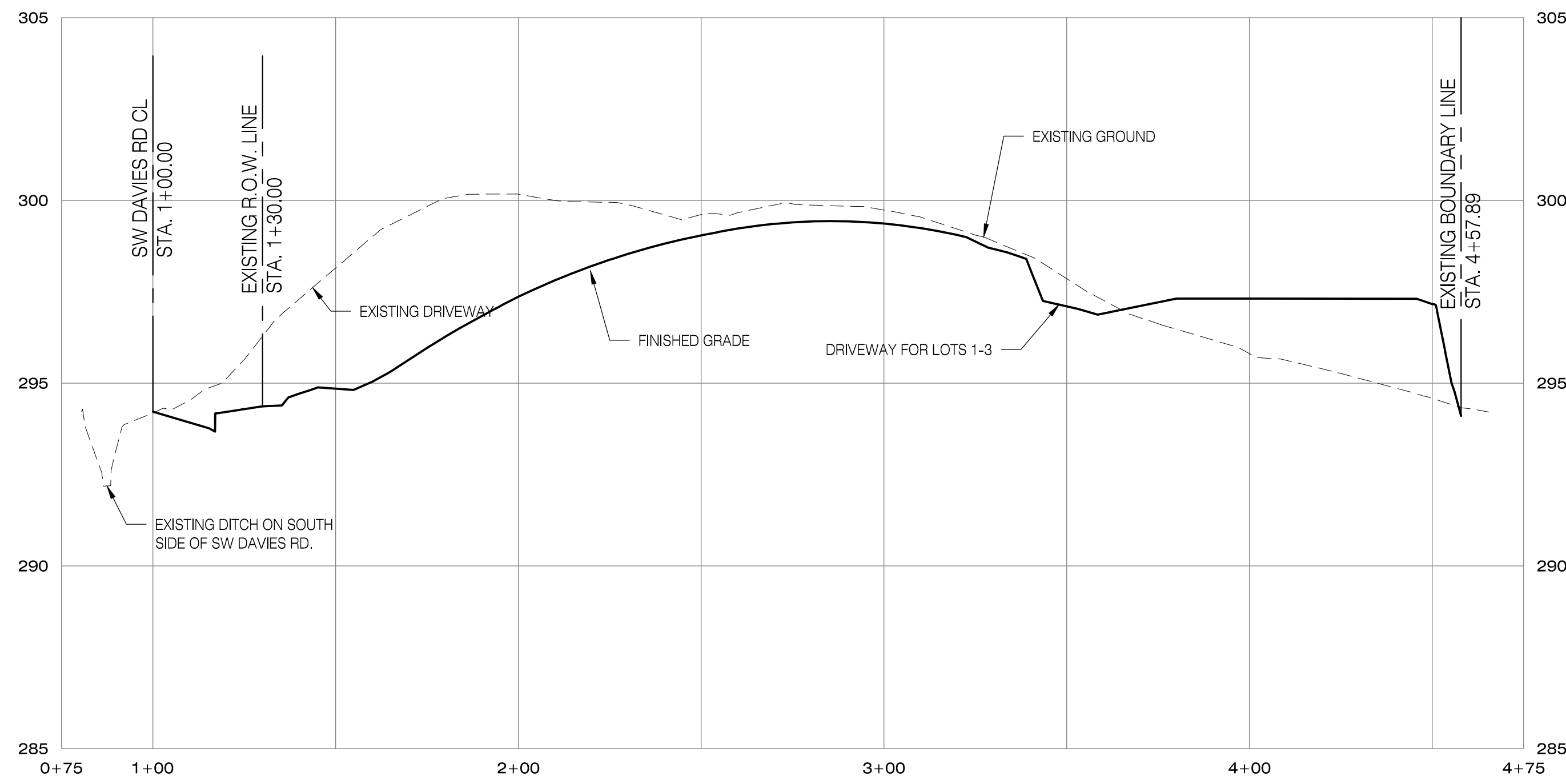
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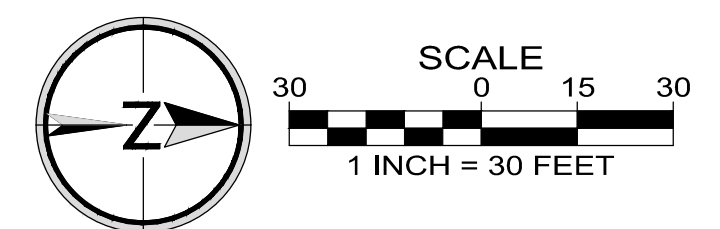
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SITE SECTION A-A - PLAN
 HORZ: 1"=30'



SITE SECTION A-A - PROFILE
 HORZ: 1"=30'; VERT: 1"=3'

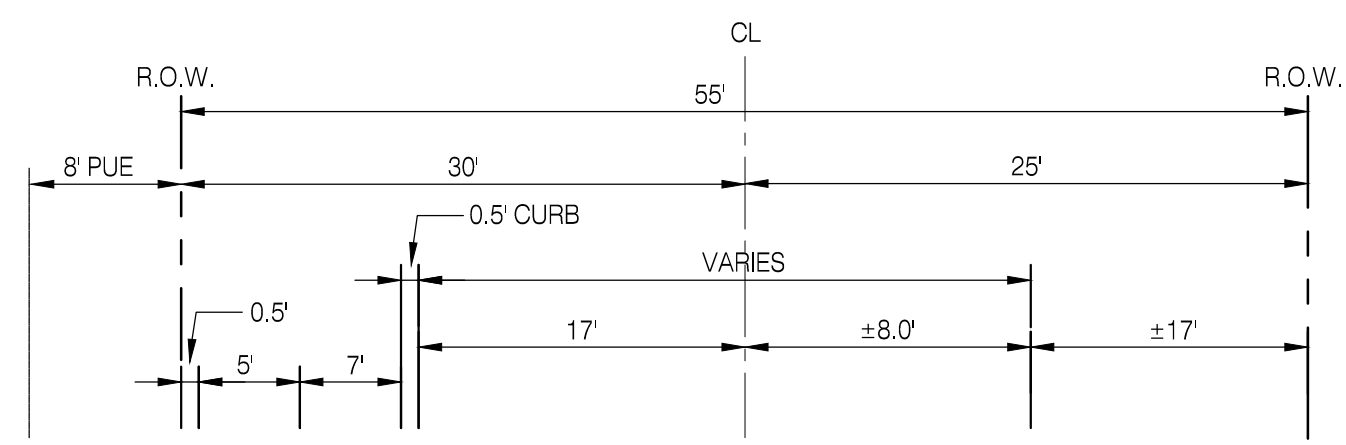


**SITE CROSS SECTION A-A -
 PLAN AND PROFILE**

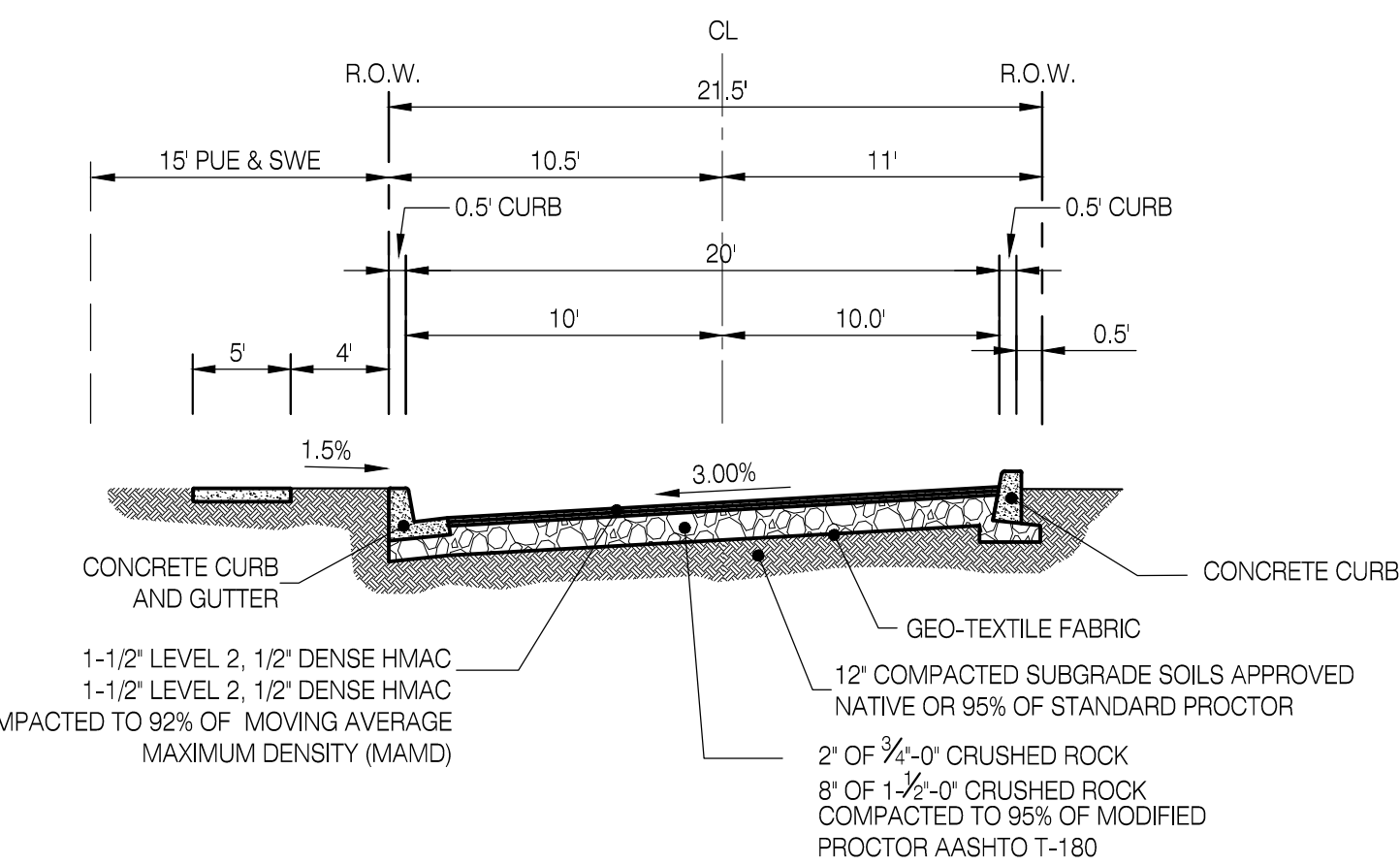
SOUTHRIDGE PARK
 CITY OF BEAVERTON, OREGON

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| Designed by | JIS | Date | 07/19 |
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| Reviewed by | MLS | Date | 07/19 |
| Project No. | 131-021 | REF. | |
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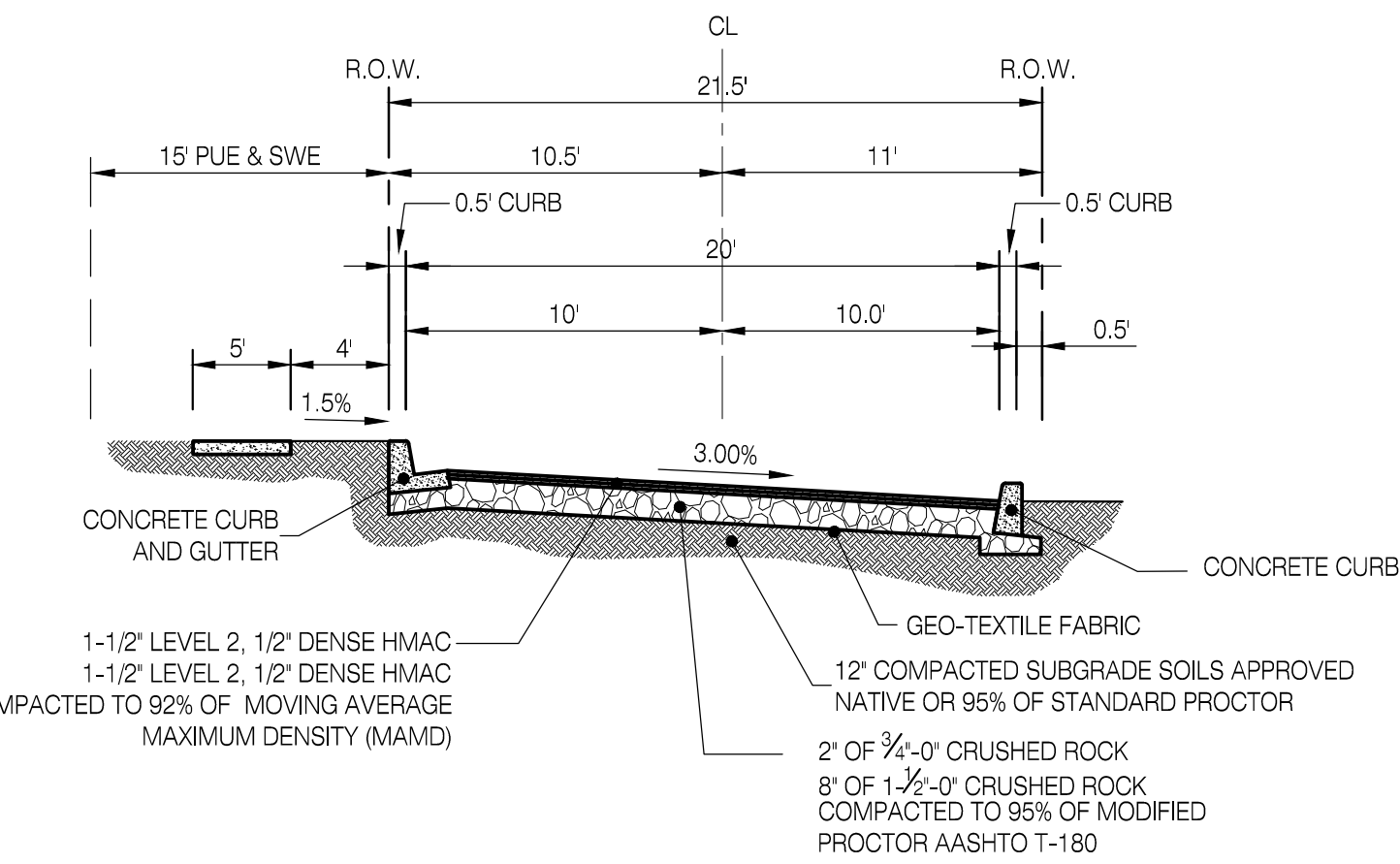
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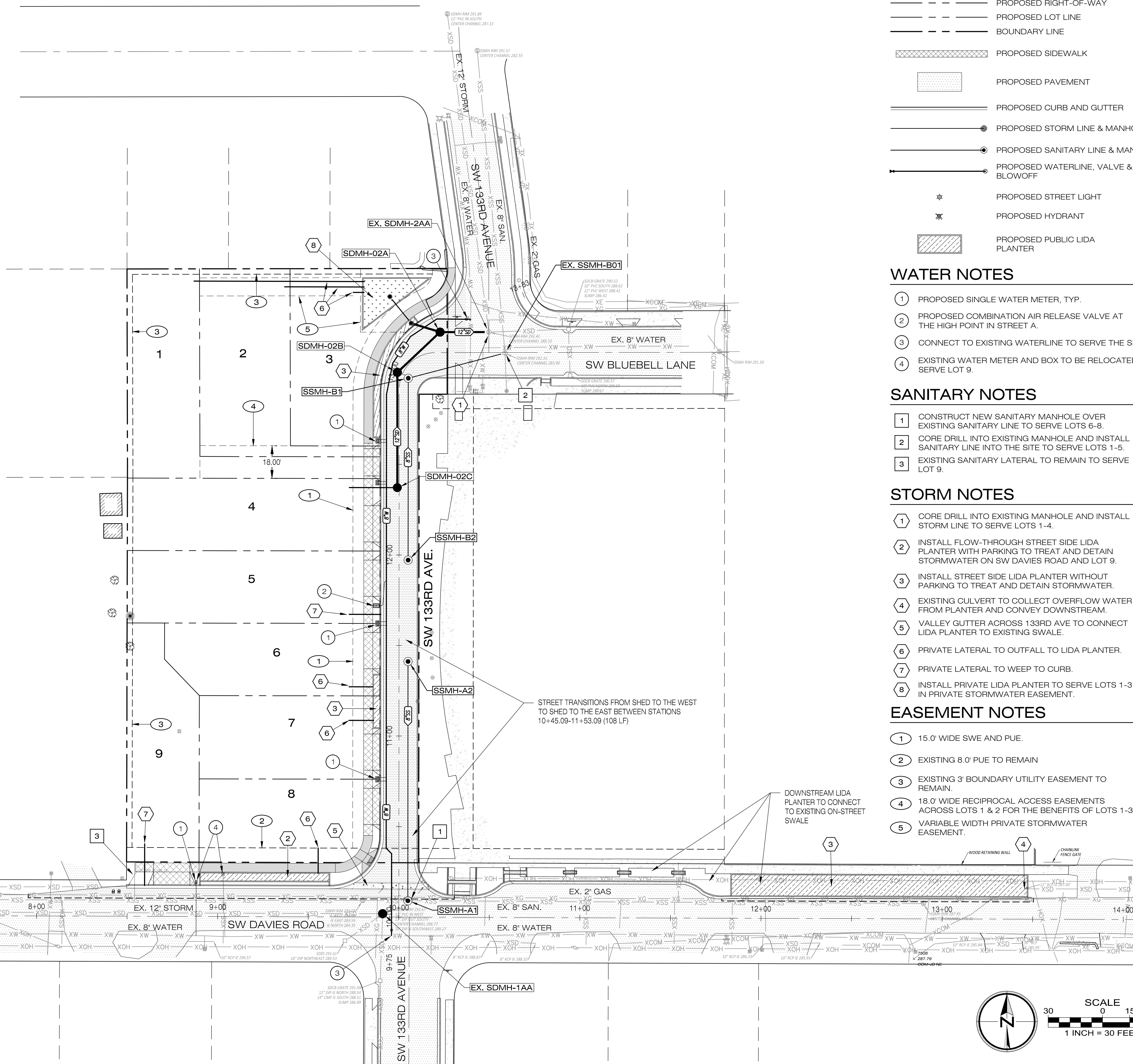
TYPICAL STREET SECTION
SW DAVIES ROAD STA. 8+49.58-10+09.93



TYPICAL PUBLIC STREET SECTION
SW 133RD AVENUE (STA. 11+53.09-12+88.10)
N.T.S.



TYPICAL PUBLIC STREET SECTION
SW 133RD AVENUE (STA. 10+45.09)
N.T.S.



LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- [Hatched Box] PROPOSED SIDEWALK
- [Dotted Box] PROPOSED PAVEMENT
- [Line with Dots] PROPOSED CURB AND GUTTER
- [Circle with Dot] PROPOSED STORM LINE & MANHOLE
- [Circle with Dot] PROPOSED SANITARY LINE & MANHOLE
- [Line with Dot] PROPOSED WATERLINE, VALVE & BLOWOFF
- [Star] PROPOSED STREET LIGHT
- [Star] PROPOSED HYDRANT
- [Hatched Box] PROPOSED PUBLIC LIDA PLANTER

WATER NOTES

- 1 PROPOSED SINGLE WATER METER, TYP.
- 2 PROPOSED COMBINATION AIR RELEASE VALVE AT THE HIGH POINT IN STREET A.
- 3 CONNECT TO EXISTING WATERLINE TO SERVE THE SITE.
- 4 EXISTING WATER METER AND BOX TO BE RELOCATED TO SERVE LOT 9.

SANITARY NOTES

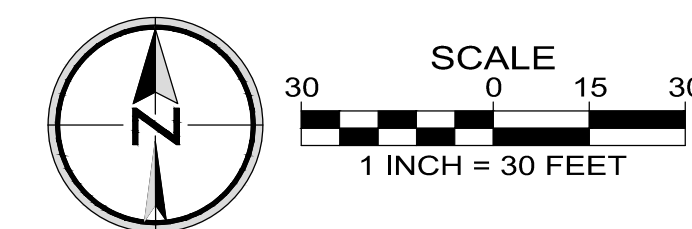
- 1 CONSTRUCT NEW SANITARY MANHOLE OVER EXISTING SANITARY LINE TO SERVE LOTS 6-8.
- 2 CORE DRILL INTO EXISTING MANHOLE AND INSTALL SANITARY LINE INTO THE SITE TO SERVE LOTS 1-5.
- 3 EXISTING SANITARY LATERAL TO REMAIN TO SERVE LOT 9.

STORM NOTES

- 1 CORE DRILL INTO EXISTING MANHOLE AND INSTALL STORM LINE TO SERVE LOTS 1-4.
- 2 INSTALL FLOW-THROUGH STREET SIDE LIDA PLANTER WITH PARKING TO TREAT AND DETAIN STORMWATER ON SW DAVIES ROAD AND LOT 9.
- 3 INSTALL STREET SIDE LIDA PLANTER WITHOUT PARKING TO TREAT AND DETAIN STORMWATER.
- 4 EXISTING CULVERT TO COLLECT OVERFLOW WATER FROM PLANTER AND CONVEY DOWNSTREAM.
- 5 VALLEY GUTTER ACROSS 133RD AVE TO CONNECT LIDA PLANTER TO EXISTING SWALE.
- 6 PRIVATE LATERAL TO OUTFALL TO LIDA PLANTER.
- 7 PRIVATE LATERAL TO WEEP TO CURB.
- 8 INSTALL PRIVATE LIDA PLANTER TO SERVE LOTS 1-3 IN PRIVATE STORMWATER EASEMENT.

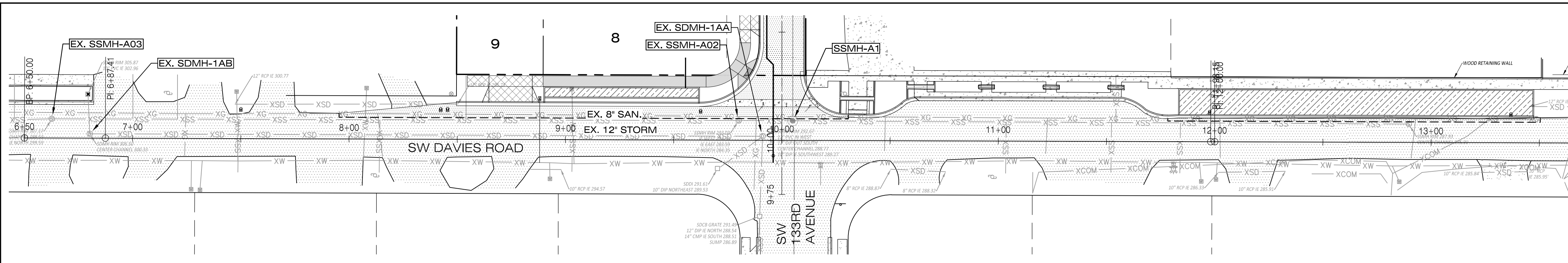
EASEMENT NOTES

- 1 15.0' WIDE SWE AND PUE.
- 2 EXISTING 8.0' PUE TO REMAIN
- 3 EXISTING 3' BOUNDARY UTILITY EASEMENT TO REMAIN.
- 4 18.0' WIDE RECIPROCAL ACCESS EASEMENTS ACROSS LOTS 1 & 2 FOR THE BENEFITS OF LOTS 1-3.
- 5 VARIABLE WIDTH PRIVATE STORMWATER EASEMENT.



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| Designed by | JIS | Date | 07/19 |
| Drawn by | TCC | Date | 07/19 |
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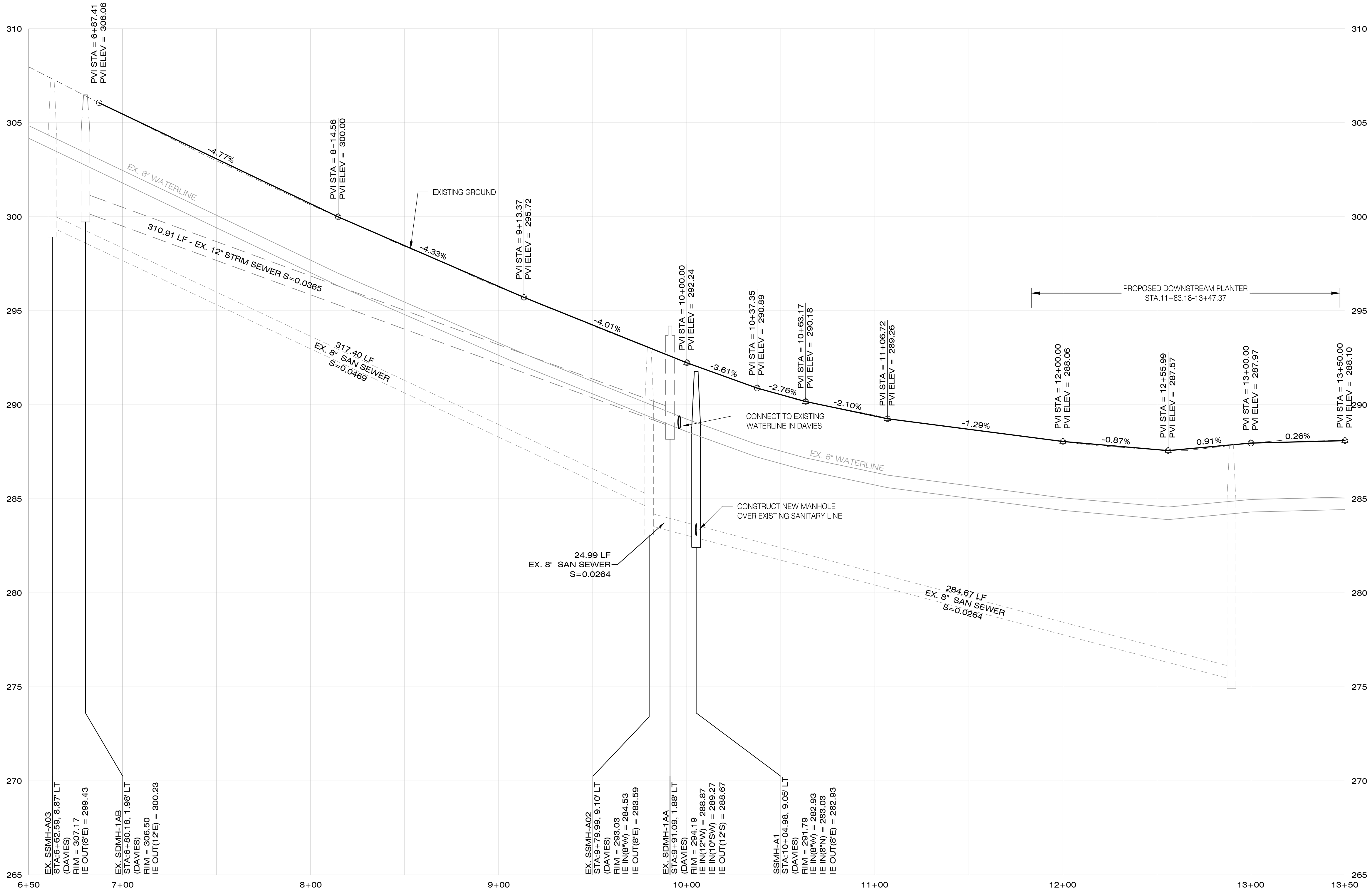


SW DAVIES ROAD (PUBLIC) - PLAN
SCALE: 1"=30' (H)

LEGEND

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED PAVEMENT

PIONEER DESIGN GROUP
 CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE
 PORTLAND, OREGON | HONOLULU, HAWAII
 PH: 503.843.8286 | WWW.PD-GRP.COM



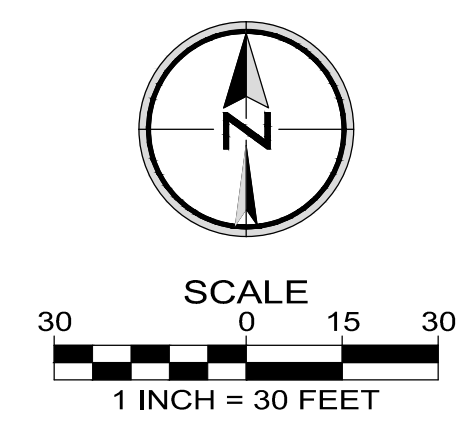
SW DAVIES ROAD (PUBLIC) PROFILE
SCALE: 1"=30' (H), 1"=3' (V)

**SW DAVIES ROAD
PLAN AND PROFILE**
SOUTH RIDGE PARK
CITY OF BEAVERTON, OREGON

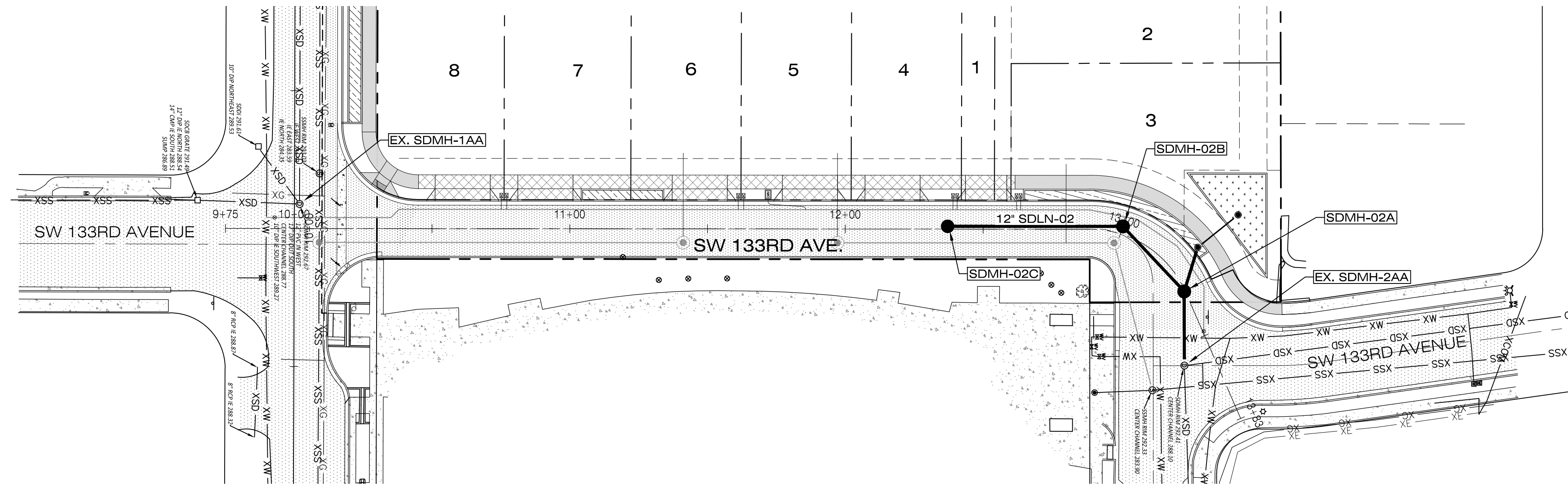
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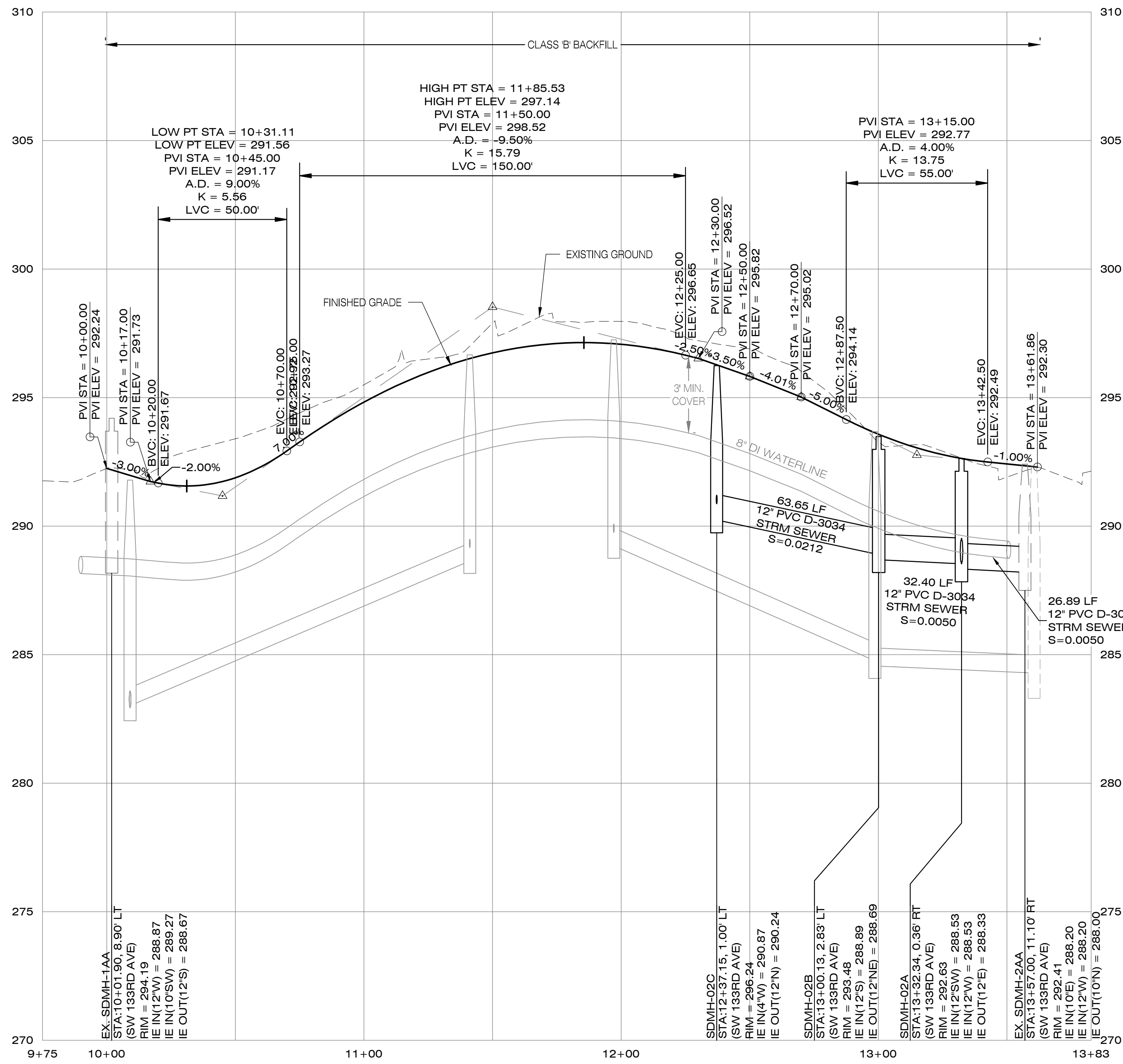
Project: SOUTH RIDGE PARK
 No.: 131-021
 Type: PLANNING
 Sheet: **P7.0**



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SW 133RD AVE, SDLN-01, SDLN-02 - PLAN
SCALE: 1"=30' (H)



SW 133RD AVE, SDLN-01, SDLN-02 - PROFILE
SCALE: 1"=30' (H), 1"=3' (V)

LEGEND

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED PAVEMENT

SW 133RD AVE, SDLN-01 & SDLN-02 - PLAN AND PROFILE

| Designed by | Date | Reviewed by | Date |
|-------------|-------|-------------|-------|
| JIS | 07/19 | TCC | 07/19 |
| MLS | 07/19 | | |

Project No. 131-021
 Horiz. Scale: 1"=30'
 Vert. Scale: 1"=3'

| No. | Date | Revision |
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STORM SEWER NOTES

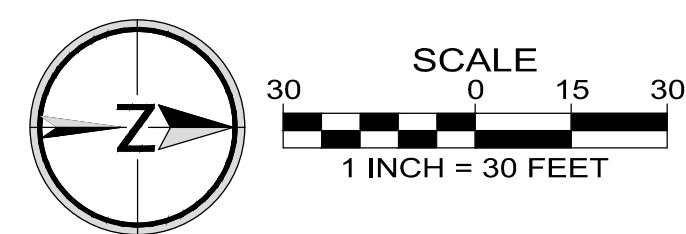
UNLESS OTHERWISE NOTED, ALL LATERALS ARE TO BE 4" PVC (ASTM D3034) WITH A MINIMUM SLOPE OF 0.0200. LATERAL CONNECTIONS TO MAIN SEWER LINE TO BE MADE WITH MANUFACTURED TEES.

INSERTA-TEES MAY BE USED FOR CONNECTION TO SEWER MAINS WITH AN INSIDE DIAMETER (I.D.) OF 12" OR LARGER.

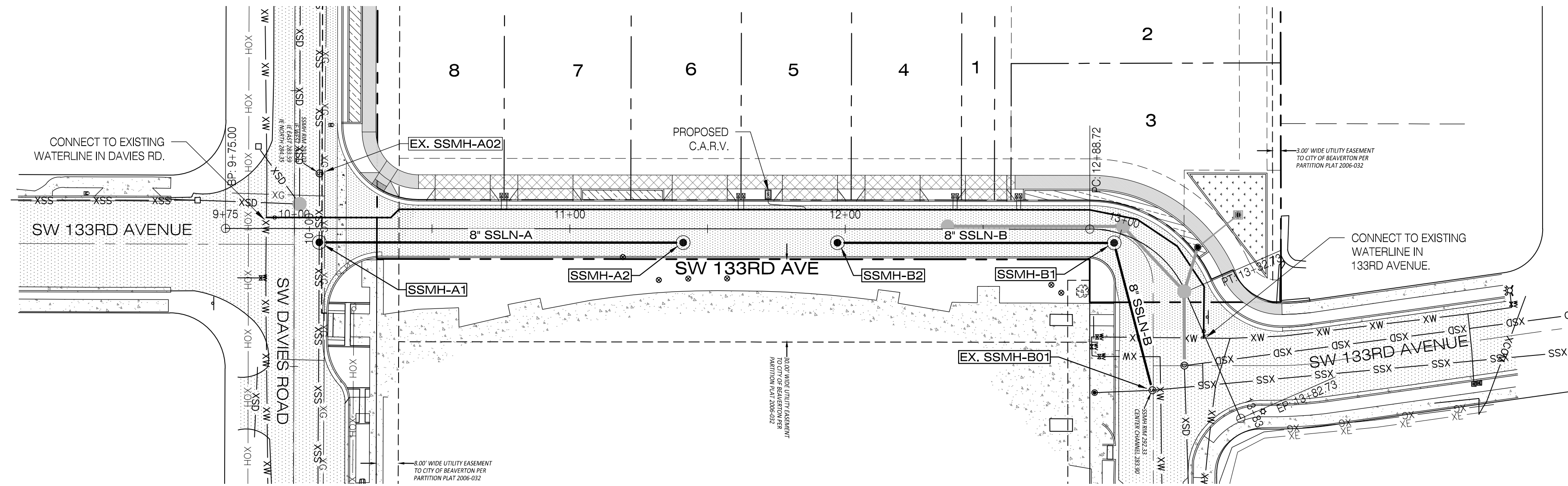
ALL 2" x 4" STORM SERVICE CONNECTION MARKERS TO BE COLOR CODED WHITE.

BACKFILL NOTE: PIPES UNDER PAVED SURFACES REQUIRE GRANULAR BACKFILL. FOR PIPES OUTSIDE PAVEMENT, NATIVE BACKFILL IS PERMITTED, UNLESS OTHERWISE NOTED.

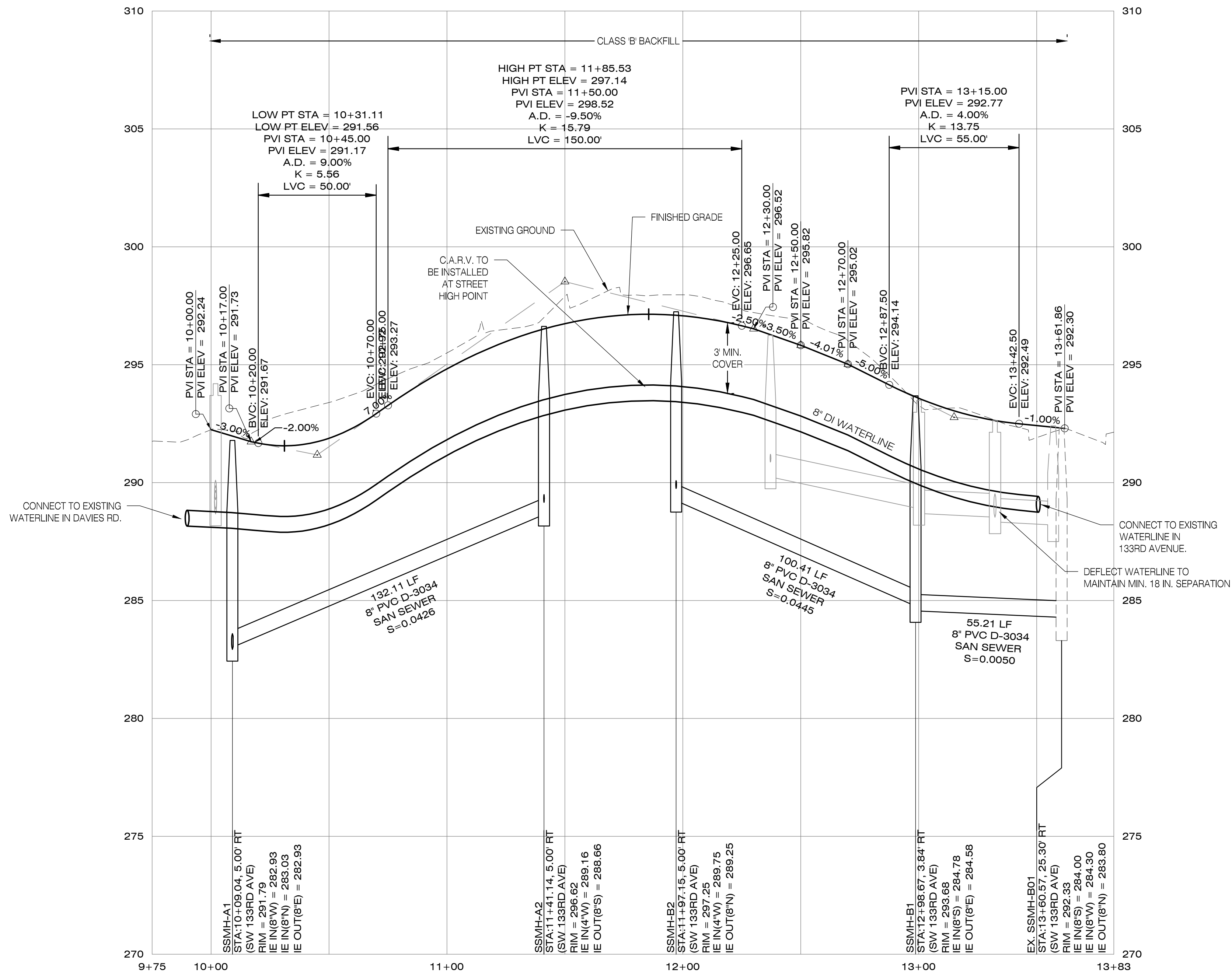
THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



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SSLN-A / SSLN-B - PLAN
SCALE: 1"=30' (H)



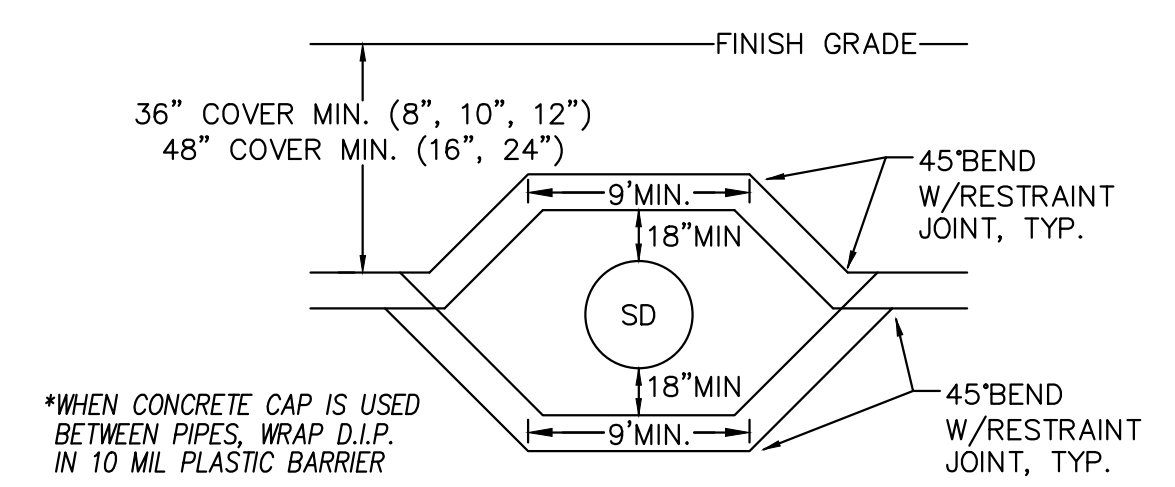
SSLN-A / SSLN-B - PROFILE
SCALE: 1"=30' (H), 1"=3' (V)

LEGEND

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED WATER SERVICE
- PROPOSED PAVEMENT

SSLN-A, SSLN-B - PLAN AND PROFILE
 SOUTH RIDGE PARK
 CITY OF BEAVERTON, OREGON

| Designed by | Date | Reviewed by | Date | Project No. | Horiz. Scale: | Vert. Scale: |
|-------------|-------|-------------|-------|-------------|---------------|--------------|
| JIS | 07/19 | TCC | 07/19 | 131-021 | 1"=30' | 1"=3' |
| Drawn by | | MLS | 07/19 | | | |
| Reviewed by | | | | | | |



WATERLINE TO DEFLECT ABOVE PIPE CONFLICTS WHEREVER POSSIBLE. IF NOT POSSIBLE, THEN WATERLINE TO DEFLECT BELOW.

WATER LINE DEFLECTION DETAIL

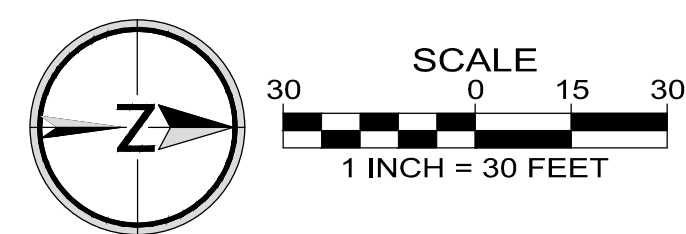
SANITARY SEWER NOTES

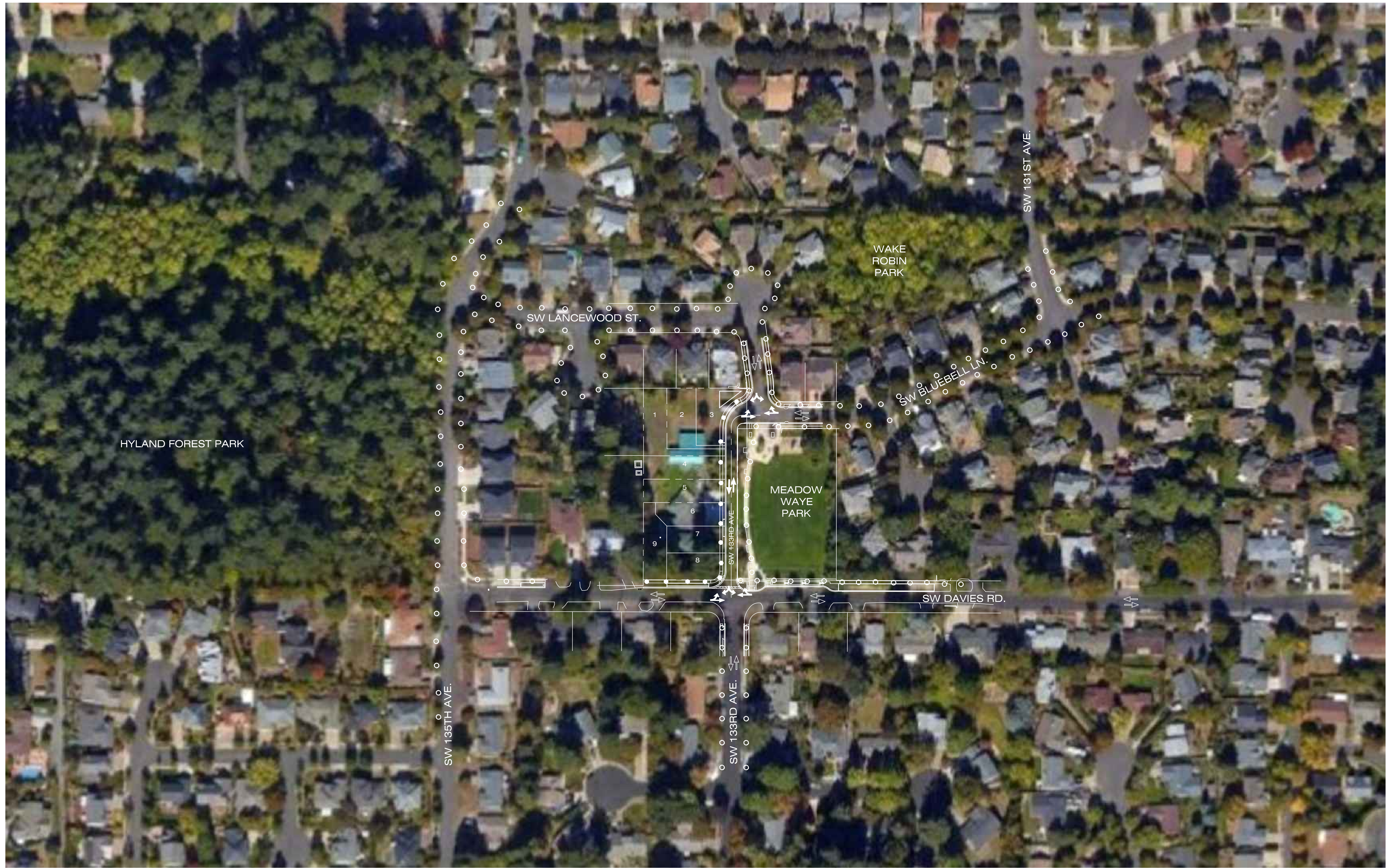
UNLESS OTHERWISE NOTED, ALL LATERALS ARE TO BE 4" PVC (ASTM D3034) WITH A MINIMUM SLOPE OF 0.0200. LATERAL CONNECTIONS TO MAIN SEWER LINE TO BE MADE WITH MANUFACTURED TEES.

ALL 2"x 4" SANITARY SERVICE CONNECTION MARKERS TO BE COLOR CODED GREEN.

BACKFILL NOTE: PIPES UNDER PAVED SURFACES REQUIRE GRANULAR BACKFILL. FOR PIPES OUTSIDE PAVEMENT, NATIVE BACKFILL IS PERMITTED, UNLESS OTHERWISE NOTED.

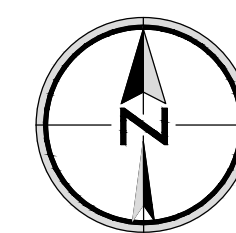
THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.





LEGEND

- ● ● ● PROPOSED PEDESTRIAN CIRCULATION
- ○ ○ ○ EXISTING PEDESTRIAN CIRCULATION
- ↔ ↔ ↔ PROPOSED VEHICULAR / BICYCLE CIRCULATION
- ↔ ↔ ↔ EXISTING VEHICULAR / BICYCLE CIRCULATION



CIRCULATION AND AERIAL PLAN

| Designed by | Date | Drawn by | Date | Reviewed by | Date | Project No. | REF. |
|-------------|-------|----------|-------|-------------|-------|-------------|------|
| JIS | 07/19 | TCC | 07/19 | MLS | 07/19 | 131-021 | |
| | | | | | | | |

| No. | Date | Revision | By |
|-----|------|----------|----|
| | | | |

Project
No. 131-021
Type PLANNING
Sheet